



Village of Ballston Spa

Planning Board

66 FRONT STREET

Ballston Spa, NY 12020

518-885-5711

| |
|------------------|
| [For Office Use] |
| _____ |
| (Application #) |
| _____ |
| (Date Received) |

| |
|---|
| <p>Application for: SITE PLAN REVIEW</p> |
|---|

**** Application Checklist – All submissions must include completed application checklist and all required items. ****

Project Name: Nomad Cafe

Property Address/Location: 92A Milton Avenue Ballston Spa NY 12020

Tax Parcel # 216.32-2-51 Zoning District CBD
(For example: 165.52-4-37)

Narrative Summary of Project (use attachment):

Date special use permit granted (if any): _____

Date zoning variance granted (if any): _____

Is property located within (check all that apply): Historic District
 500' of a Village boundary, or County/State Highway

| <u>Applicant(s)**</u> | <u>Owner(s) [if not applicant]</u> | <u>Attorney/Agent</u> |
|--|------------------------------------|-----------------------|
| Name <u>Brian Furnia/ Ryan Granito</u> | <u>David Avenarius</u> | _____ |
| Address <u>3101 Galway Road</u> | <u>9 Church Ave</u> | _____ |
| <u>Ballston Spa NY 12020</u> | <u>Ballston Spa NY 12020</u> | _____ |
| Phone <u>845-702-8083</u> | <u>518-577-5870</u> | _____ |
| Email <u>Bfurnia@gmail.com</u> | <u>davenarius@msn.com</u> | _____ |

Identify primary contact person (check one): Applicant Owner Agent

**** An applicant must be the property owner, lessee, or one with an option to lease or purchase the property in question.**

Application Fee: A check payable to "Village of Ballston Spa" **MUST** accompany this application.

Fees noted on Village website at www.villageofballstonspa.org - *Rates and Forms Municipal*

NOTE: In accordance with the Village Code – *Chapter 178, Article III, Section 178-8*, the Village may elect to use expert consultation in reviewing this application. In such an event, an estimate of those initial fees will be provided before the review proceeds and the applicant must post those funds in escrow with the Village Clerk. If the estimated fees are expended before the review is complete, the escrow must be replenished before review can continue.

Submission Deadline: All required documents must be provided *2 weeks in advance* of the meeting. See Village website for meeting dates. www.villageofballstonspa.org

Does any Village officer, employee or family member thereof have a financial interest (as defined by General Municipal Law Section 809) in this application? **Yes** **No**

If yes, a statement disclosing the name, residence, nature, and extent of this interest must be filed with this application.

I, the undersigned owner, lessee, or purchaser under contract for the property, hereby request a Site Plan Review by the Village of Ballston Spa Planning Board for the identified property above. I agree to meet all the requirements under Village zoning codes.

Furthermore, I hereby authorize members of the Village of Ballston Spa Planning Board and designated Village staff to enter the property associated with this application for purposes of conducting any necessary site inspections relating to this application.

Applicant Signature: *Ryan G. [Signature]* Date: 4/25/22

If applicant is not current owner, owner must also sign below.

Owner Signature: *[Signature]* Date: 4/22/22

Short Environmental Assessment Form

Part 1 - Project Information

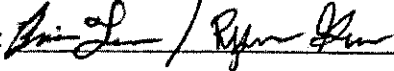
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | | |
|--|--|--|--------------------------------|---------------------------------|
| Part 1 - Project and Sponsor Information | | | | |
| Nomad Cafe / Brian Furnia | | | | |
| Name of Action or Project: Renovating Laundromat into a Cafe | | | | |
| Project Location (describe, and attach a location map): 90 A Milton ave, On the corner of Malta Ave and Milton Ave | | | | |
| Brief Description of Proposed Action: We will be adding two bathrooms, a kitchen and a bar into the existing space. We are not doing anything on the exterior of the building except for adding one sign. | | | | |
| Name of Applicant or Sponsor: Brian Furnia | | Telephone: 845-702-8083 E-Mail: Bfurnia@gmail.com | | |
| Address: 3101 Galway Rd | | | | |
| City/PO: Ballston Spa | | State: NY | Zip Code: 12020 | |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | | NO <input type="checkbox"/> | YES <input type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: | | | NO <input type="checkbox"/> | YES <input type="checkbox"/> |
| 3. a. Total acreage of the site of the proposed action? | | _____ acres | | |
| b. Total acreage to be physically disturbed? | | _____ acres | | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? | | _____ acres | | |
| 4. Check all land uses that occur on, are adjoining or near the proposed action: | | | | |
| <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) | | | | |
| <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): | | | | |
| <input type="checkbox"/> Parkland | | | | |

| | | | |
|--|--------------------------|--------------------------|--------------------------|
| 5. Is the proposed action, a. A permitted use under the zoning regulations? | NO | YES | N/A |
| | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan? | NO | YES | N/A |
| | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| | | | |
| b. Are public transportation services available at or near the site of the proposed action? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____ | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____ | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____ | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____ | | | |

| | | |
|--|--------------------------|--------------------------|
| <p>14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:</p> <p> <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban </p> | | |
| <p>15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</p> | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| <p>16. Is the project site located in the 100-year flood plan?</p> | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| <p>17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,</p> <p style="margin-left: 40px;">a. Will storm water discharges flow to adjacent properties?</p> <p style="margin-left: 40px;">b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?</p> <p>If Yes, briefly describe:</p> <hr/> <hr/> | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| <p>18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:</p> <hr/> <hr/> | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| <p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:</p> <hr/> <hr/> | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| <p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:</p> <hr/> <hr/> | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| <p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: <u>Brian Furnia / Ryan Granito</u> Date: <u>4/24/2022</u></p> <p>Signature: <u></u> Title: <u>Business Owners</u></p> | | |

Village of Ballston Spa
PLANNING BOARD

66 Front Street

Ballston Spa, NY 12020

(518)885-5711

(11/2020)

SITE PLAN REVIEW SUBMITTAL CHECKLIST

Project Name: Nomad Cafe

Listed below are the minimum submittal requirements for site plan review as set forth in Village of Ballston Spa code. The Planning Board reserves the right to request additional information, as necessary, to support an application. The Board also reserves the right to reject the application if these minimum requirements are not met. Please complete the checklist below and provide with your submission.

REQUIRED ITEMS: *10 hard copies and 1 digital (USB flash drive) copy of ALL materials are required.

CHECK EACH ITEM

****HANDWRITTEN APPLICATIONS WILL NOT BE ACCEPTED****

- 1. Completed Site Plan Application and Fee
- 2. SEQR Environmental Assessment For-short or long form as required by action.
- 3. Set of plans including: (5) large scale plans and 5 smaller versions. One digital version of all submittal items (pdf) shall be provided.
- 4. Project narrative.

REQUIRED ITEMS ON SITE PLAN, AS APPLICABLE:

- 1. Property line survey prepared by a licensed land surveyor. Site plan must reference such survey with all corners set and marked on plan. A copy of the original property survey must also be included.
- 2. North arrow and map scale
- 3. Parcel tax map number

- 4. Site location map
- 5. Site vicinity map (all features within 300 feet of property)
- 6. Identification of zoning district with corresponding area requirements
- 7. Building setback lines, either listed or shown on plans
- 8. Title block with project name; name and address of applicant; and name and address of property owner (if different)
- 9. Topography data provided on site plan
- 10. Name of all adjacent property owners
- 11. Parcel street address (existing and any proposed postal addresses)

12. Identification of all existing or proposed easements, covenants, or legal rights-of-way on this property

Yes No N/A

13. Identification of size, elevations, materials, and slopes of all existing and proposed utilities adjacent to project

Yes No N/A

14. Existing and proposed contours and spot grades (at 2-foot intervals)

Yes No N/A

15. Identification of all watercourses, designated State wetlands, buffers, Federal wetlands, floodplains, rock outcroppings, etc.

Yes No N/A

16. Location of proposed snow storage

Yes No N/A

17. Identification of all existing or proposed sidewalks or pedestrian path (show type, size and condition of existing sidewalks)

Yes No N/A

18. Location, design specifications and construction material for all proposed site improvements (drains, culverts, retaining walls, berms, fences, etc)

Yes No N/A

19. Location, size, and material of all existing and proposed utility services

Yes No N/A

20. Parking lot layout plan and identification of all loading areas (number all spaces)

Yes No N/A

21. Parking demand calculations

Yes No N/A

22. Identification of parking spaces and access points for physically impaired persons

Yes No N/A

23. Location and screening plan for dumpster or recycling bins

Yes No N/A

24. Location, design, type of construction and materials, proposed use and exterior dimensions of all buildings (existing and proposed) on site

Yes No N/A

25. Identification of storage of any potentially hazardous materials

Yes No N/A

26. Planting plan identifying quantity, species, and size of all proposed new plant materials. Label existing plant material to be retained or removed.

Yes No N/A

27. Lighting plan showing type, location, and intensity of all existing and proposed exterior lighting fixtures

Yes No N/A

28. Erosion and sediment control plan-including designated concrete truck washout area.

Yes No N/A

Checklist prepared by: Brian Furnia Date: 4/25/22

Nomad Project Narrative

1. We will be converting the front part of the Spa Laundromat on the corner of Malta Avenue and Milton Avenue located at 92A Milton Avenue, to Nomad (Cafe, Bar).
2. We are Currently at 80 Milton Ave and need a larger space to accommodate our growing business..
3. We are not planning on changing the exterior of the building except for some signage on the Milton Avenue Side.
4. We are not altering the existing exterior lights on the building
5. We are not altering the existing 4 parking spaces allocated to us and therefore in accordance with the ADA guidelines, do not need to make any parking space ADA compliant (See Note A below)
6. We will be renovating the interior of the 1960sqft retail space and will have two separate Unisex bathrooms, one that will comply with the ADA bathroom regulations

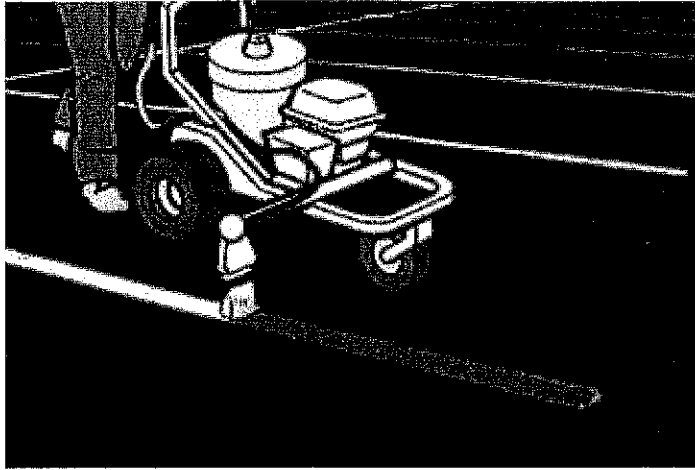
Note A:

§36.402 Alterations. (a) General. (1) Any alteration to a place of public accommodation or a commercial facility, after January 26, 1992, shall be made so as to ensure that, to the maximum extent feasible, the altered portions of the facility are readily accessible to and usable by individuals with disabilities, including individuals who use wheelchairs. (2) An alteration is deemed to be undertaken after January 26, 1992, if the physical alteration of the property begins after that date. (b) Alteration. For the purposes of this part, an alteration is a change to a place of public accommodation or a commercial facility that affects or could affect the usability of the building or facility or any part thereof. (1) Alterations include, but are not limited to, remodeling, renovation, rehabilitation, reconstruction, historic restoration, changes or rearrangement in structural parts or elements, and changes or rearrangement in the plan configuration of walls and fullheight partitions. Normal maintenance, reroofing, painting or wallpapering, asbestos removal, or changes to mechanical and electrical systems are not alterations unless they affect the usability of the building or facility. (2) **If existing elements, spaces, or common areas are altered, then each such altered element, space, or area shall comply with the applicable provisions of appendix A to this part.**

202 Existing Buildings and Facilities 202.1 General. Additions and alterations to existing buildings or facilities shall comply with 202. 202.2 Additions. Each addition to an existing building or facility shall comply with the requirements for new construction. Each addition that affects or could affect the usability of or access to an area containing a primary function shall comply with 202.4. 202.3 **Alterations. Where existing elements or spaces are altered, each altered element or space shall comply with the applicable requirements of Chapter 2**

Alteration. A change to a *building* or *facility* that affects or could affect the usability of the *building* or *facility* or portion thereof. *Alterations* include, but are not limited to, remodeling, renovation, rehabilitation, reconstruction, historic restoration, **resurfacing of circulation paths or vehicular ways,** changes or rearrangement of the structural parts or *elements*, and changes or rearrangement in the plan configuration of walls and full-height partitions. Normal maintenance, reroofing, painting or wallpapering, asbestos removal, [36.402(b)(1)] or changes to mechanical and electrical systems are not *alterations* unless they affect the usability of the *building* or *facility*.

Alterations and Additions



Refreshing existing striping in place for several spaces or filling potholes is typically considered normal maintenance, not an alteration.

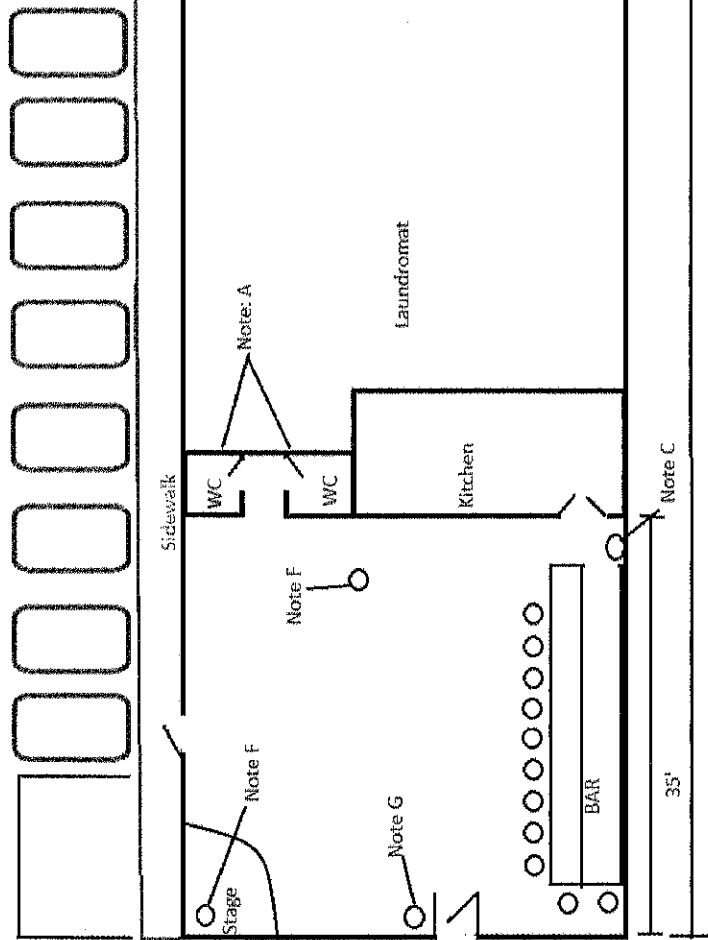
Accessible spaces are required where parking facilities are altered or added. The term 'alterations' includes resurfacing of vehicular ways (§106.5). Resurfacing or resealing and projects that add new parking spaces constitute alterations (or additions) and must include accessible spaces as required in the scoping table. Normal maintenance, such as pothole repair, surface patching, or repainting in place existing striping for a few spaces, is not considered an alteration except where it affects a facility's usability.

Nomad Cafe/Bar Project

Brian Furnia/ Ryan Granito
3301 Galway Rd
Ballston Spa, NY 12020
Landlord
David Avenarius
9 Church Ave
Ballston Spa NY 12020

Address: 90A Milton Ave
Tax Parcel # 216.32-2-51

8 space parking lot, 4 assigned to Nomad



standards

Notes

- A: Two wash closets, one is ADA compliant
- B: Kitchen 23'x17'8 kitchen built to commercial standards with vent hood and fire suppression.
- C: 3 Phase electrical service
- D: Natural gas separate meter
- E: Utilities Electric Box
- F: Waste line in basement(multiple points)
- G: Water meter in basement

Notes D&E

42'

Note C

90'

35'

North

2:30

Safari



dge



Van Buren St

Welcome Relief
Massage Therapy

Liberty St

Hamilton St

50

Bunrise Burgers
and More

Whitehouse

Tooth Gems By Shannon
Tattoo shop

Malta Ave

Washington St

umberland Farms
Busier than usual

Scott St

Scott St

ng Kettle

Pizza Works -
Ballston Spa
Pizza • \$

Front St

Low St

Pleasant St

Pleasant St

Ballston Spa
Public Library

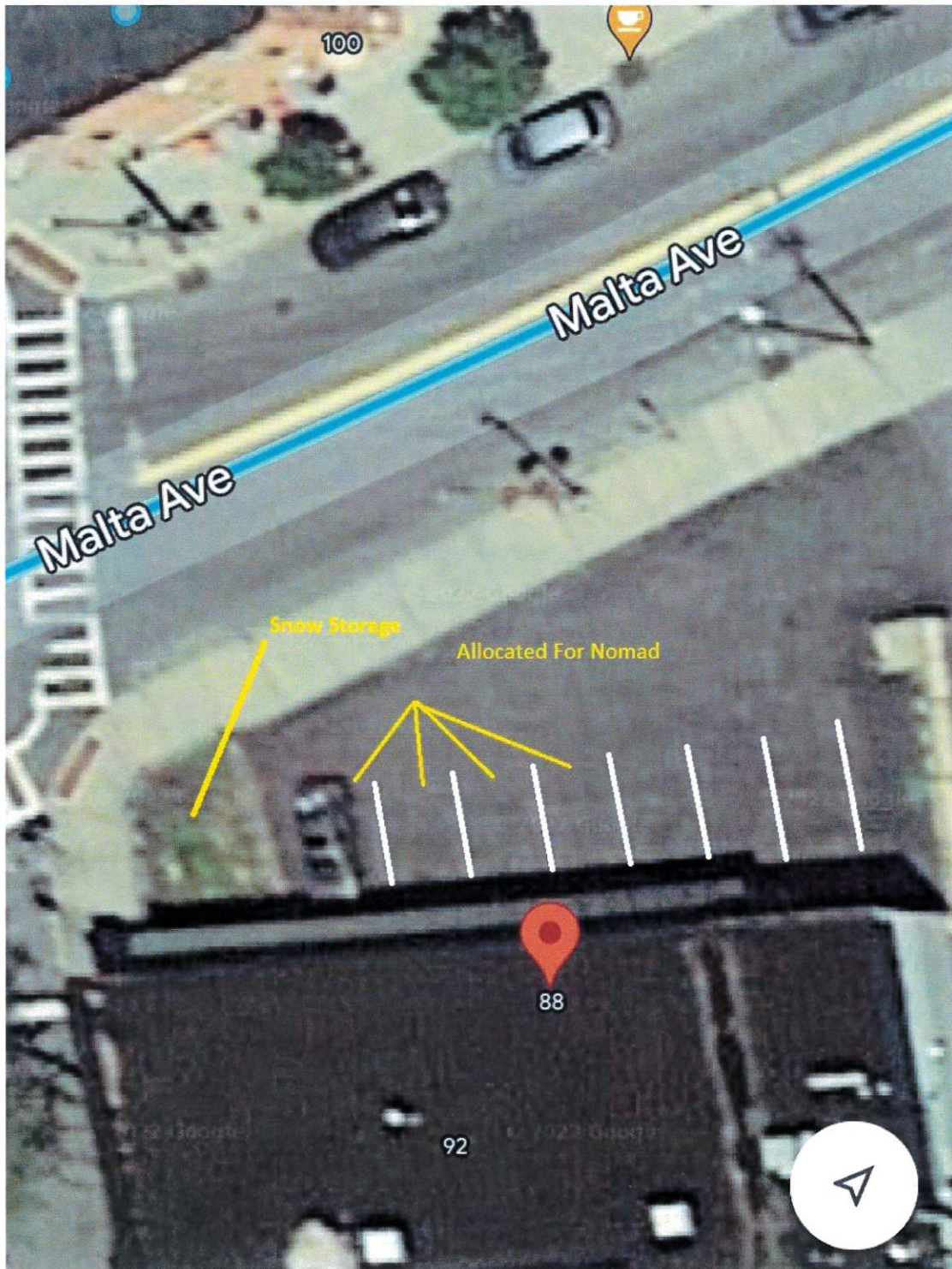
Style
ant

Google

Milton Ave

100 ft
20 m





VILLAGE OF BALLSTON SPA ZONING MAP

Saratoga Springs

Milton

Milton

Malta



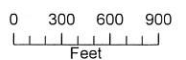
Milton

Ballston

Ballston

Legend

- R-1: RESIDENTIAL
- R-2: RESIDENTIAL
- R-2S: RESIDENTIAL
- CEE: CULTURAL ECONOMIC ENHANCEMENT
- C: COMMERCIAL
- CBD: CENTRAL BUSINESS DISTRICT
- M: INDUSTRIAL
- AD: ADULT BUSINESS DISTRICT
- HISTORIC OVERLAY DISTRICT



1 inch = 300 feet

DATE 06/11/2021



Existing exterior lights

Sign will be approximately 2' x 6'
made of 3/4" painted non lighted
wood.

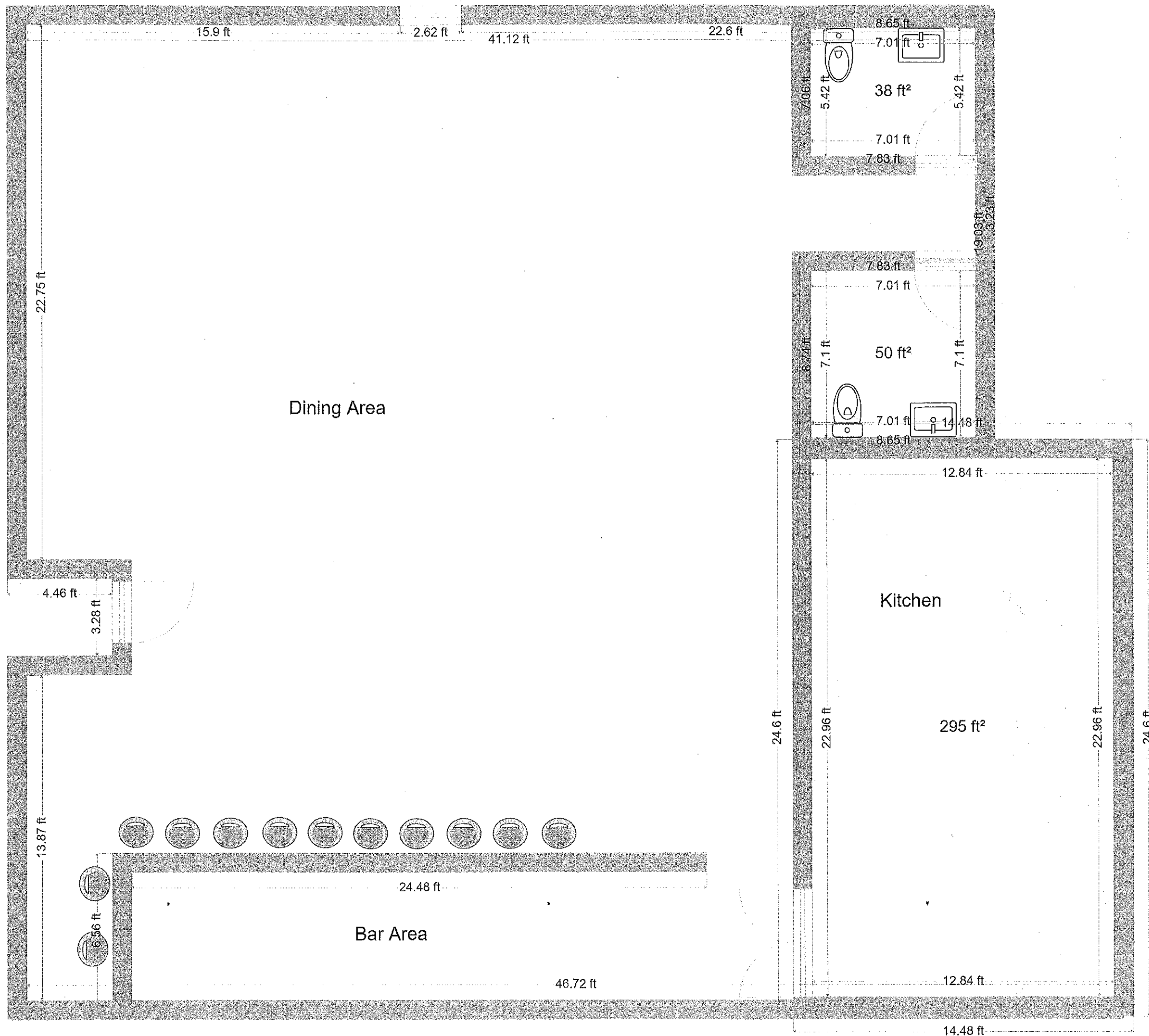
PUBLIC
PARKING

Nomad

STREET

Richa
Ge
Auto - P

Veranda



Nomad Cafe
 Brian Furnia & Ryan Granito
 3101 Galway Rd Ballston Spa NY 12020

Landlord
 Dave Avenarius
 92 A Milton Ave
 Ballston Spa NY 12020