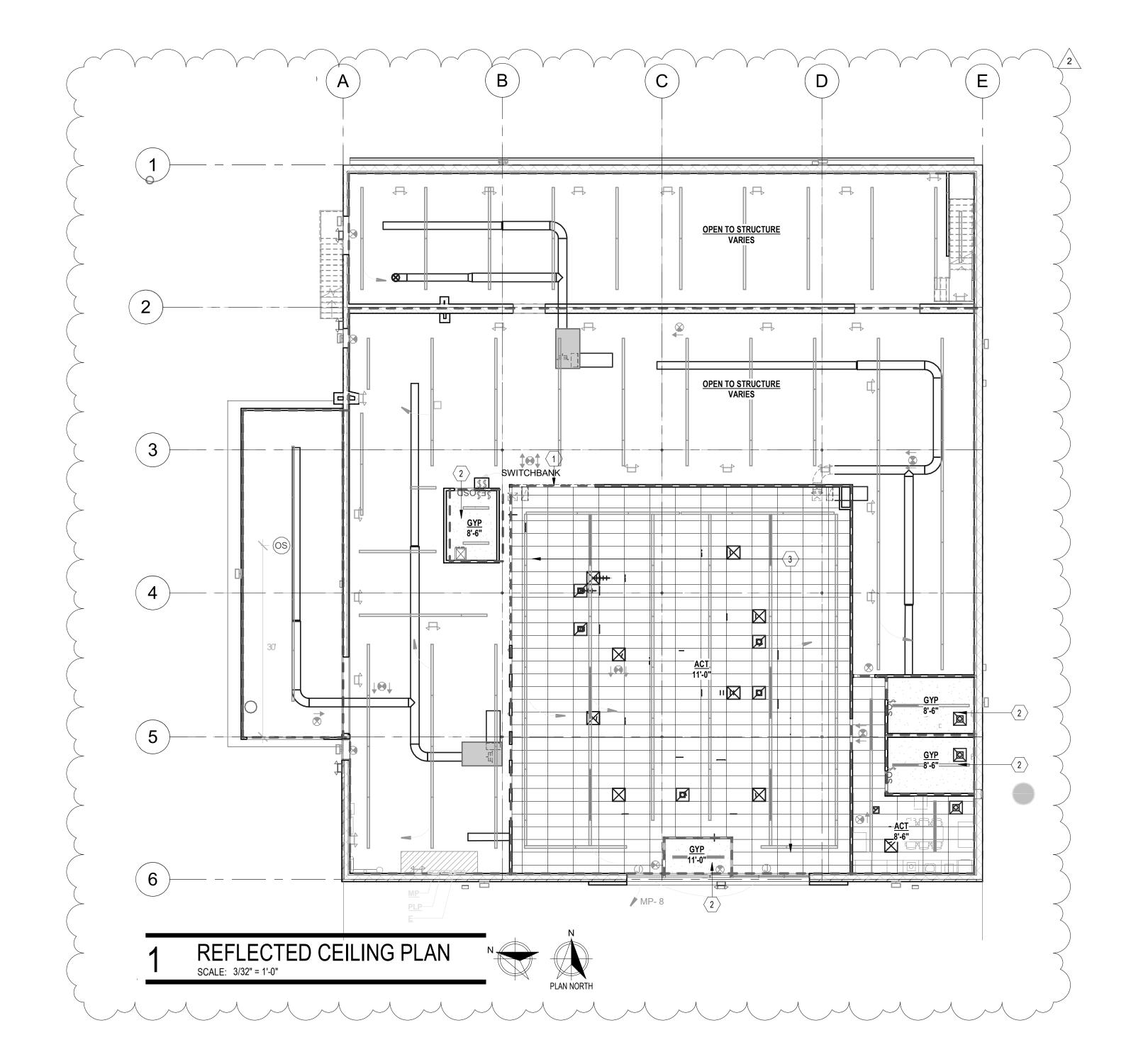


# 2 MEZZANINE CEILING PLAN SCALE: 3/32" = 1'-0"



#### **GENERAL NOTES**

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- MECHANICAL REGISTERS ARE SHOWN ON THIS DRAWING FOR THE ARCHITECTURAL LOCATIONS ONLY. SEE THE MECHANICAL DRAWINGS FOR TYPES, SIZES, DISTRIBUTION, CONNECTIONS, AND ALL OTHER REQUIREMENTS.
- C. LIGHTING FIXTURES ARE SHOWN ON THIS DRAWING FOR THE ARCHITECTURAL LOCATIONS, QUANTITIES, AND GENERAL FIXTURE TYPE ONLY. SEE ELECTRICAL DRAWINGS FOR EXACT FIXTURE TYPE AND CIRCUITING.
- D. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING, BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSULATION, CONDUITS, RACEWAYS, SPRINKLER SYSTEM, LIGHT FIXTURES, CEILING SYSTEMS, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR INDICATED ON THE DRAWING.
- PROVIDE SUSPENDED CEILING SEISMIC BRACING (WHERE REQUIRED), REFER TO DETAIL 9/A4.2.
- F. REFER TO FINISH SCHEDULES FOR CEILING TYPES.

#### SYMBOLS LEGEND

LED LIGHT FIXTURE

SUPPLY GRILL
RETURN GRILL

EXIT LIGHT. SHADED SIDE INDICATES FACE OF EXIT SIGN.
ARROW INDICATES TRAVEL DIRECTION(S).

EMERGENCY LIGHTING W/BATTERY BACKUP

#### 

- 1. SOFFIT: 362S162-33 COLD FORM METAL STUD FRAMING WITH 5/8" TYPE "X" GYPSUM BOARD , REFER TO DETAIL 6/A4.2
- 2. GYPSUM CEILING: 600S162-54 COLD FORM METAL FRAMING AT 24" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD, REFERENCE DETAIL 7/4.2.
- ACOUSTICAL TILE CEILING: 1729 FINE FISSURED SERIES, REF A1.2 INTERIOR FINISH SCHEUDLE.

STERED ARCHITE
OF NEW
08.25.2023

SHEETS BEARING THIS SEAL ARE AUTHENTICATED, RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS OR INSTRUMENTS ARE DISCLAIMED.

OD2
architecture
engineering

+engineering
2809 Ajax Avenue Suite 100
Rogers Arkansas 72758
Phone: 479.636.3545

Fax: 479.636.1209

Architect of Record

William Douglas Hurley

STOR

AUTO

Architect of Record William Douglas Hurley New York License No. 029887-1

IG PLAN

LECTED CEILING

ECT:
MODEL O'REILLY AU
MILTON AVE,
LSTON SPA, NY 120
REFLECTED

REMIND PARTS 288 N
BALL

RATE OFFICES
JTH PATTERSON
SFIELD MISSOLIRI

CORPORA 233 SOUT SPRINGFI (417) 862;

CHECKED BY:

JS

04.17.2023

REVISION:

ADD 2 8.25.23

2023.0134 SHEET NUMBER:

A1.3

# 1' - 8 1/2" 5' - 0" 11 (3)-----5

DEMO FLOOR PLAN

SCALE: 3/32" = 1'-0"

**REFER TO MEP DRAWINGS:** - TRENCHING LOCATIONS PER NEW UNDERGROUND UTILITIES; REF DETAIL 1/A4.2. - INSTUCTIONS FOR TERMINATION & REMOVAL OF EXISTING UTILITIES NOT USED FOR REMODEL SCOPE OF WORK.

G.C. TO PROTECT IN PLACE ANY AND ALL FIRE ALARM EQUIPMENT FOUND DURING DEMOLITION

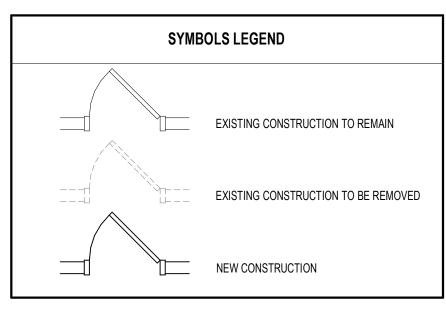
REFERENCE T1.1 FOR LANDLORDS SCOPE OF WORK

### 

- 1. EXISTING STOREFRONT/ DOORS/FRAMES TO BE REMOVED.
- 2. EXISTING HARDWARE TO BE REMOVED AND PREP FOR NEW.
- REMOVE ALL INTERIOR NON-LOAD BEARING WALLS SHOWN DASHED; TO INCLUDE ADJACENT PLUMBING FIXTURES, TOILETS, MILLWORK, CEILING, SOFFIT, ECT.
- 4. EXISTING TO REMAIN AND PROTECT IN PLACE DURING DEMO WORK.
- EXISTING WALL CONSTRUCTION TO BE REMOVED PER SCOPE OF WORK. REF STRUCTURAL DRAWINGS.
- 6. REMOVE EXISTING STOREFRONT GLAZING AND PREP FOR NEW.
- EXISTING DOOR TO BE REMOVED.
- 8. REMOVE EXISTING GYP/TILE AND PREP FOR NEW.
- 9. EXISTING WINDOW TO BE REMOVED AND PREPPED FOR CMU INFILL.
- REMOVE EXISTING DOOR/FRAME/HARDWARE.
- 11. REMOVE EXISTING PLYWOOD SHEATHING AND INSULATION AND PREP FOR
- 12. G.C. TO VERIFY IF STEEL COLUMNS ARE EXISTING AND NOTIFY ARCHITECT OF CONDITIONS AFFECTING NEW STOREFRONT DESIGN. 13. EXISTING OVERHEAD DOOR TO REMAIN. PROTECT IN PLACE

#### **ENVIRONMENTAL GENERAL NOTES**

- AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
- IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.



## **GENERAL NOTES**

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- EXISTING CONDITIONS BASED UPON INFORMATION PROVIDED BY OTHERS OR ARCHITECT'S OBSERVATION. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- CONTRACTOR TO SCHEDULE WORK WITH OWNER. VERIFY IF OWNER TO MAINTAIN OPERATION OF BUILDING DURING NORMAL BUSINESS HOURS AND PROVIDE WORK PHASING SCHEDULE FOR OWNER'S REVIEW AND
- APPROVAL. BUILDING TO BE SECURABLE AFTER BUSINESS HOURS. CONTRACTOR TO MAINTAIN CLEAR UNOBSTRUCTED PATHS OF EGRESS AND EXITS AT ALL TIMES BUILDING IS OCCUPIED DURING
- CONSTRUCTION. PROVIDE TEMPORARY EMERGENCY LIGHTING, EXIT SIGNS AND FIRE EXTINGUISHING SYSTEMS AS REQUIRED.
- EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REMOVE AND REPLACE DAMAGED CONSTRUCTION DUE TO CONTRACTOR'S ACTIVITIES.
- EXISTING CONSTRUCTION TO BE REWORKED AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION. PATCH AND REPAIR EXPOSED SURFACES OF EXISTING CONSTRUCTION TO REMAIN AT LOCATIONS OF EXISTING CONSTRUCTION TO BE REMOVED. FIELD VERIFY SCOPE OF WORK REQUIRED.
- PROVIDE TEMPORARY SHORING OR BRACING OF EXISTING STRUCTURAL SYSTEM AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION.
- PROVIDE TEMPORARY DUST PROTECTION AS REQUIRED.
- ALL DEMOLITION MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL, UNLESS OTHERWISE INDICATED.
- WHEN NECESSARY TO INTERRUPT UTILITY SERVICES, PROVIDE A MINIMUM OF 48 HOURS ADVANCE NOTICE TO THE OWNER. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT HAND AND SHALL BE APPROVED IN ADVANCE BY THE OWNER.
- WHERE INCLUDED IN CONSTRUCTION DOCUMENTS, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- EXISTING CONSTRUCTION CLASSIFICATION: UNLESS OTHERWISE INDICATED ON CODE SUMMARY DRAWING, EXISTING CONSTRUCTION MATERIALS ASSUMED TO BE CLASSIFIED AS NON-COMBUSTIBLE. IF CONTRACTOR ENCOUNTERS EXISTING MATERIALS CLASSIFIED AS COMBUSTIBLE (NON-FIRE TREATED WOOD, NON-CLASS "A" THERMAL AND ACOUSTICAL INSULATION, NON-ENCAPSULATED FOAM PLASTICS, KRAFT-FACED INSULATION) OR NON-FIRE RATED GYPSUM BOARD IN REQUIRED FIRE RATED ASSEMBLIES, NOTIFY ARCHITECT IMMEDIATELY FOR ADDITIONAL WORK MODIFICATIONS REQUIREMENTS OR POTENTIAL BUILDING CODE CONSTRUCTION TYPE RECLASSIFICATION.
- EXISTING CONCRETE: PRIOR TO MODIFICATIONS OF EXISTING CONCRETE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO CUTTING, DRILLING OR ROUTING, CONTRACTOR SHALL PROVIDE THE SERVICES OF A QUALIFIED CONCRETE SCANNING OR TESTING AGENCY TO SUBMIT REPORT OF EXISTING CONDITIONS AND REINFORCEMENT LOCATIONS WITHIN THE PLANNED AREA OF WORK. SUBMIT REPORT TO ARCHITECT ILLUSTRATING TYPE(S) OF CONSTRUCTION, IE "SLAB ON GROUND", "REINFORCED STRUCTURAL CONCRETE", "POST TENSION SLAB ON GROUND", ETC. EXISTING CONCRETE CONSTRUCTION SHALL NOT BE MODIFIED UNTIL ARCHITECT REVIEWS REPORT AND PROVIDES WRITTEN DIRECTIVE. NOTE: MINIMUM SAW CUT WIDTH OF FLOOR SLABS SHALL NOT BE LESS THAN 24".
- ACCESSIBLE EXITS AND ACCESSIBLE ROUTES: ALL NEW AND EXISTING EXTERIOR DOOR LANDINGS SHALL BE 5'-0" WIDE MINIMUM WITH OUTSIDE EDGES PERPENDICULAR TO BUILDING LOCATED 2'-0" MINIMUM BEYOND DOOR JAMB STRIKE AND 1'-0" MINIMUM BEYOND DOOR JAMB HINGE. TOP OF LANDING SHALL BE FLUSH WITH FINISH FLOOR AND SLOPE 2% MAXIMUM AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 5'-0". DESIGNATED ACCESSIBLE ROUTE SIDEWALK OR PAVING SHALL BE FLUSH WITH LANDING AND SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE TO ACCESSIBLE PARKING AREA OR PUBLIC WAY. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS, GRADES, AND SLOPES PRIOR TO COMMENCING WORK AND NOTIFY ARCHITECT IF NEW OR EXISTING CONDITIONS WILL NOT COMPLY WITH ACCESSIBLE DESIGN CRITERIA. DO NOT PROCEED WITH WORK WITHOUT ARCHITECT'S WRITTEN APPROVAL.
- EXISTING PLUMBING SYSTEMS: ALL EXISTING PLUMBING SYSTEMS TO BE REMOVED OR PROPERLY TERMINATED. UNLESS OTHERWISE INDICATED. CAP ALL WATER LINES AT ROOF. SANITARY SEWER SHALL BE CUT AT FLOOR AND PROVIDE CAP OR CLEAN OUT. CAP ALL VENT LINES AT ROOF AND SEAL VENT PIPES ABOVE ROOF, CONTRACTOR TO CAMERA SCOPE EXISTING SANITARY SEWER PIPES TO BE REUSED TO VERIFY PROPER OPERATION PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ARCHITECT/ENGINEER IF DEFECTIVE CONDITIONS ARE DISCOVERED. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- EXISTING MECHANICAL SYSTEMS: ALL EXISTING DIFFUSERS, REGISTERS, GRILLS, AND DUCTWORK TO BE COMPLETELY REMOVED, UNLESS OTHERWISE INDICATED. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- EXISTING ELECTRICAL SYSTEMS: ALL EXISTING UNUSED ELECTRICAL SYSTEMS TO BE COMPLETELY REMOVED AND PROPERLY TERMINATED, UNLESS OTHERWISE INDICATED. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.



SHEETS BEARING THIS SEAL ARE AUTHENTICATED, RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS OR INSTRUMENTS ARE DISCLAIMED.

+engineering

2809 Ajax Avenue Suite 100 Rogers Arkansas 72758 Phone: 479.636.3545 Fax: 479.636.1209

Architect of Record William Douglas Hurley New York License No. 029887-1

ST

AUTO

O'REILLY N AVF

DEMOLITION

DEL ILTO

PROJE REM 288 I BALI 

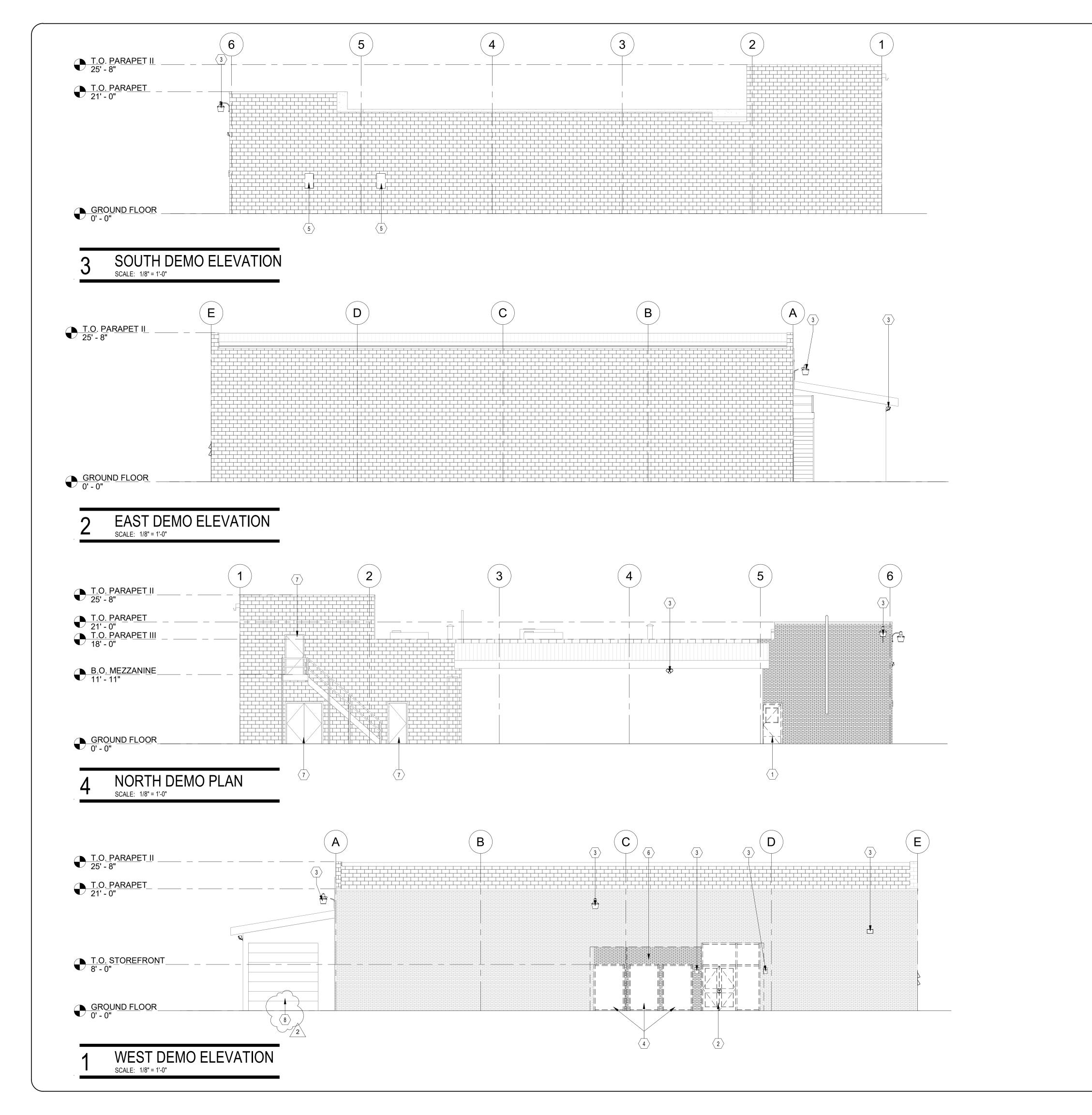
WG.  $\triangleleft$ 

CHECKED BY:

04.17.2023

ADD 2 8.25.23

2023.0134



#### **GENERAL NOTES**

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- EXISTING CONDITIONS BASED UPON INFORMATION PROVIDED BY OTHERS OR ARCHITECT'S OBSERVATION. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REMOVE AND REPLACE DAMAGED CONSTRUCTION DUE TO CONTRACTOR'S ACTIVITIES.
- EXISTING CONSTRUCTION TO BE REWORKED AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION. PATCH AND REPAIR EXPOSED SURFACES OF EXISTING CONSTRUCTION TO REMAIN AT LOCATIONS OF EXISTING CONSTRUCTION TO BE REMOVED. FIELD VERIFY SCOPE OF WORK REQUIRED.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- NEW CONSTRUCTION TO MATCH EXISTING CONSTRUCTION TYPE AND FINISH, UNLESS OTHERWISE NOTED.

# 

- 1. EXISTING DOOR/HARWARE TO BE REMOVED AND PREP FOR NEW.
- 2. EXISTING STOREFRONT/ DOORS/FRAMES TO BE REMOVED.
- EXISTING LIGHT FIXTURES TO BE REMOVED, ALL NEW LIGHTING LOCATIONS, PER ELEVATION GIVEN TO US.
- 4. REMOVE EXISTING STOREFRONT GLAZING AND PREP FOR NEW.
- 5. EXISTING WINDOW TO BE REMOVED AND PREPPED FOR CMU INFILL
- 6. EXISTING WALL CONSTRUCTION TO BE REMOVED PER SCOPE OF WORK. REF A1.1 AND STRUCTURAL DWGS.
- REMOVE EXISTING DOOR HARDWARE AND PREP FOR NEW.
- EXISTING OVERHEAD DOOR TO REMAIN. PROTECT IN PLACE

SHEETS BEARING THIS SEAL ARE AUTHENTICATED, RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS OR INSTRUMENTS ARE DISCLAIMED.

+engineering

2809 Ajax Avenue Suite 100 Rogers Arkansas 72758 Phone: 479.636.3545 Fax: 479.636.1209

Architect of Record

William Douglas Hurley New York License No. 029887-1

STORE

**PARTS** 

AUTO

EVATIONS DEMOLITION

PROJECT:
REMODEL O'REILLY A
288 MILTON AVE,
BALLSTON SPA, NY 1

SIEVE AUTO

ADD 2 8.25.23

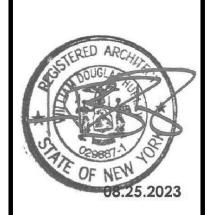
04.17.2023

2023.0134

**D2.1** 

#### **GENERAL NOTES**

- CONTACT OWNER'S OR TENANT'S DESIGNATED PROJECT ADMINISTRATOR FOR QUESTIONS OR CLARIFICATIONS.
- BUILDING PERMANENT SIGNAGE OWNER FURNISHED AND INSTALLED, (REFER TO SCOPE OF WORK SCHEDULE). SIGNAGE GRAPHICS PROVIDED FOR REFERENCE ONLY (N.I.C.) AND CONTRACTOR'S COORDINATION WITH SPECIFIC PROJECT CONSTRUCTION CONDITIONS. CONTRACTOR TO PROVIDE BACKING AND ROUGH-IN ELECTRICAL AS REQUIRED FOR INSTALLATION. REFER TO A2.1 FOR EXTERIOR BUILDING FINISH.
- REQUIRED GOVERNMENTAL PERMITS FOR PERMANENT TYPE SIGNAGE TO BE PROVIDED BY OWNER OR OTHERS (N.I.C.).



HEETS BEARING THIS SEAL ARE UTHENTICATED, RESPONSIBILITY FOR ILL OTHER PLANS, SPECIFICATIONS OF NSTRUMENTS ARE DISCLAIMED.

+engineering

2809 Ajax Avenue Suite 100 Rogers Arkansas 72758 Phone: 479.636.3545

Fax: 479.636.1209 Architect of Record

William Douglas Hurley New York License No. 029887-

STO

SIGN/

BUILDING

O'REILLY N AVF DEL (ILTON PROJEC REMC 288 N BALL

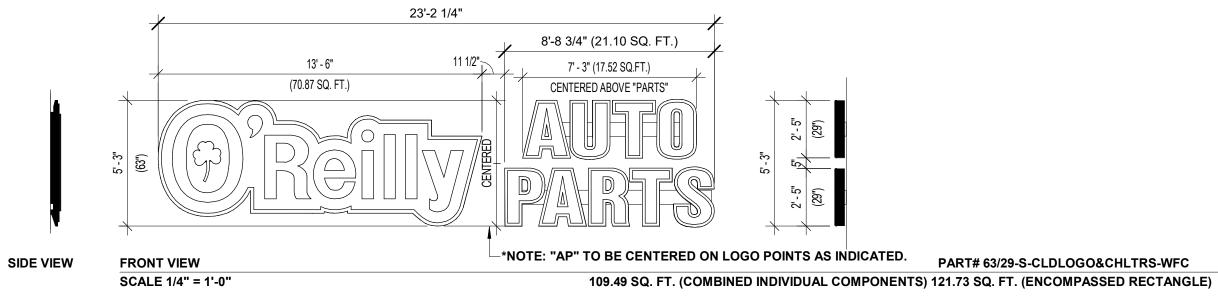
MUTI(

04.17.2023

ADD 2 8.25.23

2023.0134

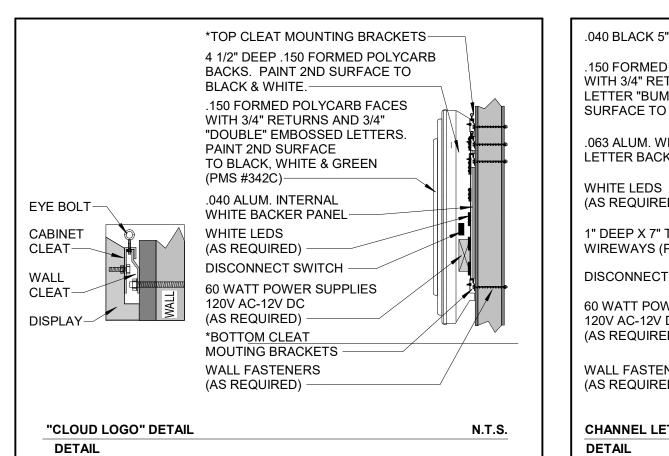
**SG2.1** 

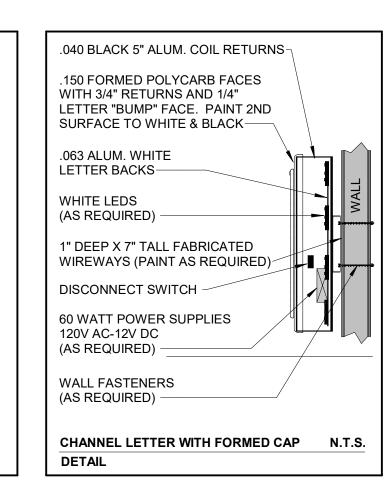


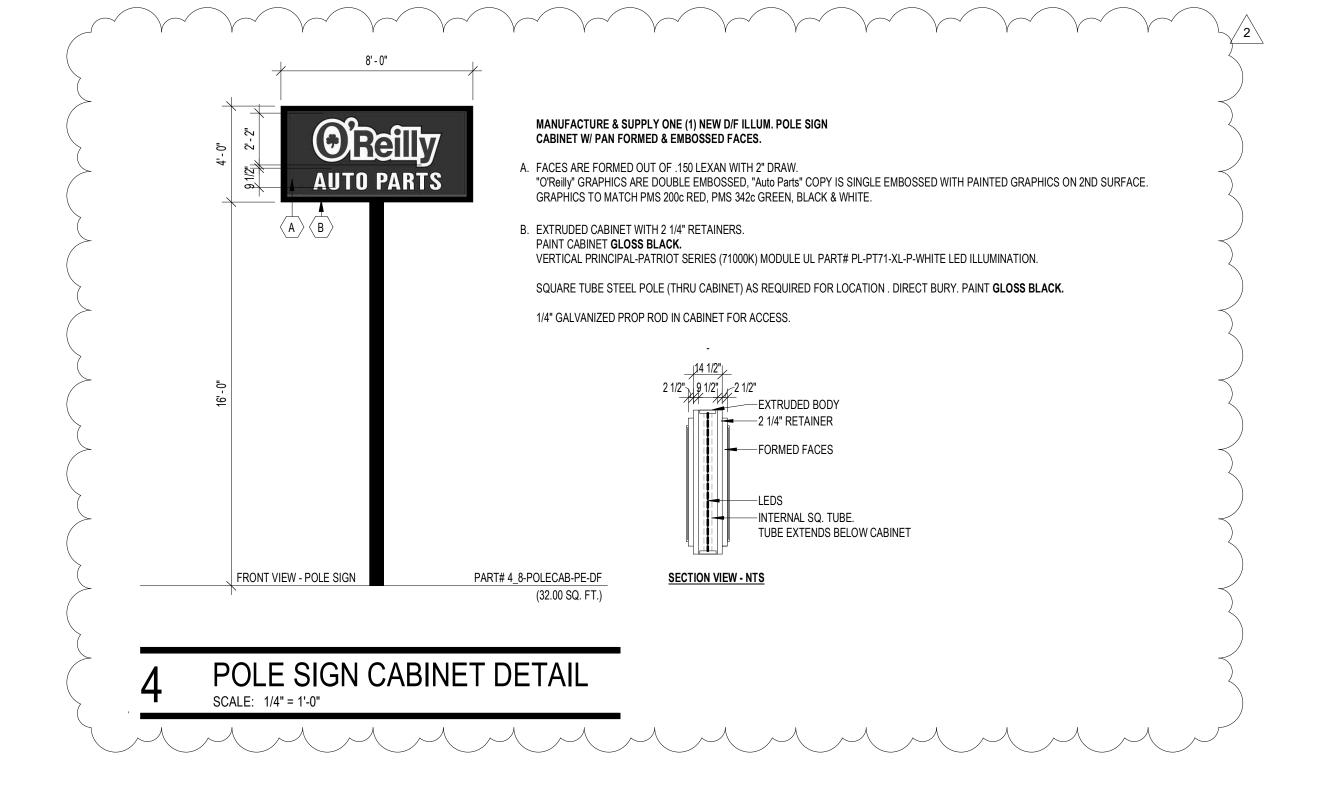
MANUFACTURE AND SUPPLY (X) SET OF ILLUMINATED CLOUD LOGO CABINET AND CHANNEL LETTERS.

"O'REILLY" CLOUD LOGO WITH "AP" CHANNEL LETTERS ON 7" (H)X1"(D) WIREWAYS. RACEWAYS PAINT COLOR. TBD "O'REILLY" CLOUD LOGO IS FORMED POLYCARB WITH DOUBLE ÉMBOSSEDMENT WITH 2ND SURFACE PAINTED GRAPHICS. PAINT MATCH TO: GREEN (PMS#342C), BLACK AND WHITE. "AP" TO HAVE FORMED POLYCARB CAPS WITH 1/4" LETTER "BUMPS". BLACK 5" ALUMINUM COIL RETURNS. 2ND SURFACE BLACK AND WHITE PAINT. WHITE LED ILLUMINATION.

> FORMED CLOUD LOGO WITH "AP" FORMED CAPS & CHANNEL RETURNS PART # 63/29-S-CLDLOGO&CHLTRS-WFC



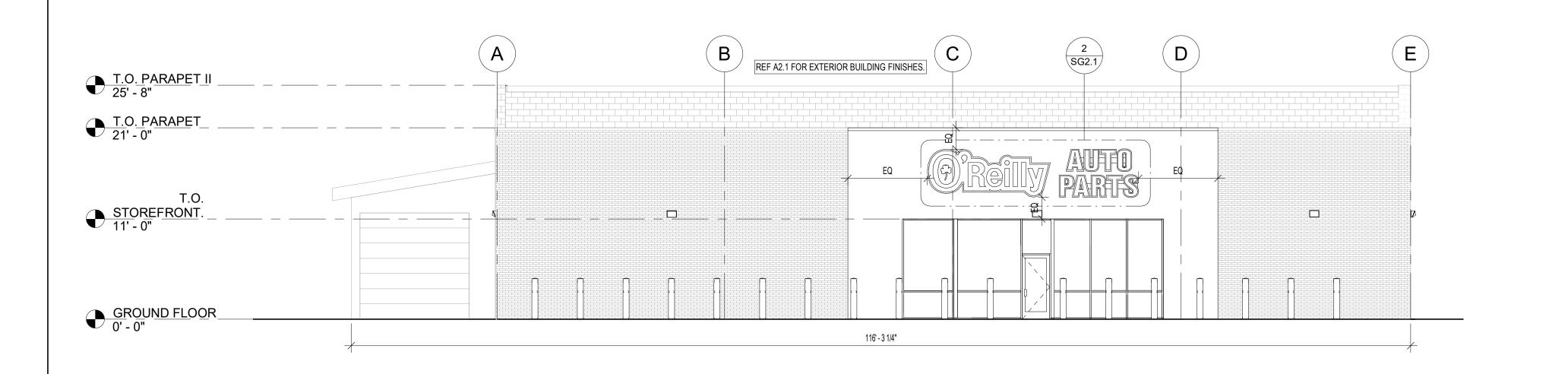


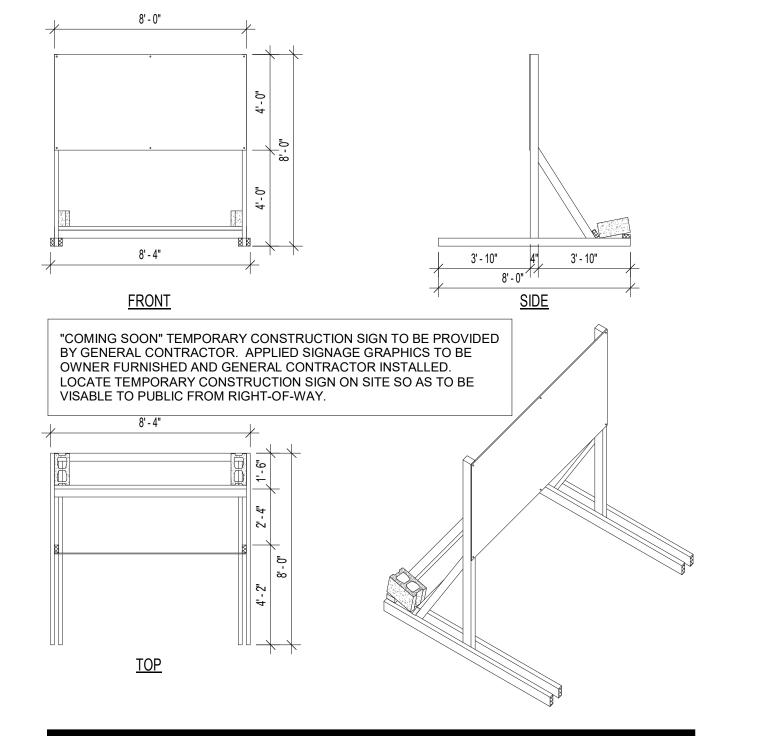


# 63/29 S SIGNAGE DETAIL SCALE: 1/4" = 1'-0"

WEST SIGNAGE ELEVATION

SCALE: 1/8" = 1'-0"





COMING SOON CONSTRUCTION SIGN